

24 April 2020

# Notes

## CITIES ENGAGING in the RIGHT to HOUSING

### How can cities build alternative community-led housing models?



tives and other forms of **collective self-organised housing**. Overall, these types of housing are defined by high degrees of user participation, the establishment of reciprocal relationships, mutual help and solidarity, and different forms of crowd financing and management, amongst others. Sometimes these projects are targeted to specific socio-demographic groups, such as elderly people.

Cziske, 2018

worth tends to decrease over time. Real estate transactions have been and will remain mainly a business of land purchases and land sales. Therefore, whoever

Kriese 2017

There are a variety of interrelated terms used both in practice and in the literature, often interchangeably, to refer to collective self-organised housing, such as 'collaborative housing', 'community-led', 'resident-led', 'participative housing' or 'co-housing'. As Fromm (2012, p. 364) explains '(...) in the classic co-housing

Cziske 2018

An actual right to housing necessarily implies **fundamental challenges to the existing system**. The efficacy of this sort of right is that it can **articulate a demand** around which a mass movement can mobilize: the demand for **truly decent housing for all** irrespective of **one's economic or social status**. Across the world, social

2016 Mollen-Moravetz

VARIETY OF COLLABORATIVE HOUSING

LAND VALUE

OLD or NEW?

Do they represent an alternative to mainstream market? Are they inclusive, adequate and affordable, for whom?

"Let a thousand housing alternatives bloom"

## CO-HOUSING SELF-BUILT SOCIAL PRODUCTION



Spreefeld Berlin



CoHousing is now used as an umbrella term for a range of housing forms emphasizing self-organization and a community orientation. This generally implies a large degree of self-determination combined with an interest in building community and pursuing sustainability with a long-term vision. Collaborative housing puts a focus on working together and community-led housing clearly puts the residents and the community in front, as a driving force for housing development. It has been common to describe such

LaFond Tsvetkova 2017

can develop quantities of dwellings. Community-led housing is already contributing to the mix of housing development and ownership structures, and can further help to maintain or strengthen the social mix in neighborhoods. Private, non-profit-oriented housing

How to ensure diversity in collaborative housing projects?

# COOPERATIVE HOUSING

"A cooperative is an autonomous association of persons united voluntarily to meet their common economic, social, and cultural needs and aspirations through a jointly-owned and democratically-controlled enterprise."

International Cooperative Alliance



Mehr als Wohnen  
Zwang

In a cooperative, only participants who have met the requirements for membership are allowed to be owners. All cooperatives operate on the principle of "one member, one vote", so control is allocated evenly among the users of the co-op without regard to how much money each has invested. Cooperatives operate for the

Lund 2013

The advantage of a cooperative is seen in the elimination of profit: it is not the aim of a cooperative to make a profit, and profit-making is prohibited by the articles. The debts associated with the buildings are repaid through the monthly use fees. Once the debts have been paid off, the members of the cooperative can choose whether to continue paying use fees in order to support future projects or to occupy their homes free of charge.

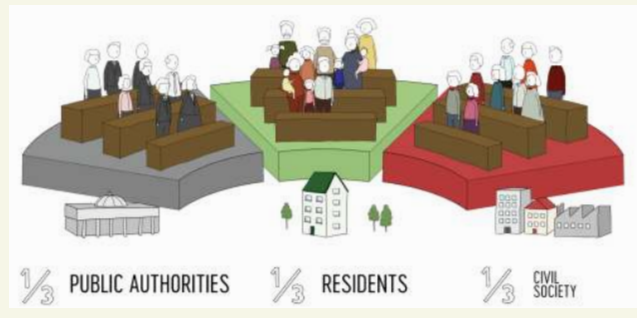
How can cooperative housing exclude speculation?

Dusehen und Schöning, 2017

# COMMUNITY LAND TRUST



M. Gallet  
CLT Brussels



governance

land based on a fiduciary agreement among several actors. Housing-oriented (CLTs) provides affordable housing which prioritizes access to homeownership for low and moderate income people. In a typical CLT ownership structure, the land trust acquires the land and leases it with a long-term ground-lease to homeowners of the building sitting on the same land. The lessee can be a non-for profit body (organisation, foundation, cooperative or housing corporation related to the CLT) that rents or sells the units it to low income groups whose possibility to profit from equity gains is limited by the conditions of the CLT itself. By freezing the value of properties, the Community Land Trust secures their affordability indefinitely.

Calico, UIA Journal 1 2020

CLT and the right to housing

1. CLTs are potentially an alternative to the displacement and inequalities of private housing and land markets. But land trusts in general have been used to protect elites and by themselves are not necessarily good or bad.
2. The CLT is only one among many tools for achieving the right to housing and the right to the city. Many more things are needed to keep land out of the market and make housing permanently affordable.
3. CLTs in the United States emerge out of struggles against displacement and the peace and civil rights movements. Sustaining organic ties with these and other movements is necessary if they are to achieve their revolutionary and transformative potential.

Angotti, 2015

<https://urbact.eu>

<https://www.uia-initiative.eu/>